

City of Canandaigua Feasibility Analysis for Building Rehabilitation and Re-Use

NEW YORK MAIN STREET TECHNICAL ASSISTANCE PROGRAM

SHARS – 2019 - 0211



Mr. John Goodwin, City Manager

City of Canandaigua, 2 North Main Street,
Canandaigua, NY 14224

February 9, 2021



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CBCA 20-016 c. 2021

Acknowledgements

Developed with funding assistance from Housing Trust Fund Corporation and NYS Homes & Community Renewal. Document is property of Housing Trust Fund Corporation and The City of Canandaigua

Funding Provided by :

New York State Homes & Community Renewal
NY Main Street Technical Assistance Program

Canandaigua Business Improvement District
Denise Chaapel, Downtown Manager

City of Canandaigua
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OVERVIEW

The City of Canandaigua received a NY Main Street Technical Assistance Grant from the New York State Homes and Community Renewal agency for a Building Feasibility project that improves property owner readiness for the City to then apply for a future New York Main Street grant to fund the renovation activity. After the City and the Business Improvement District selected 5 buildings for this project. Four owners have moved forward with the program. Their projects are portrayed in this report.

The New York Main Street Program provides financial resources and technical assistance to communities to strengthen the economic vitality of the State's traditional Main Streets and neighborhoods. The NYMS grant program provides funds to units of local government, and not-for-profit organizations that are committed to revitalizing historic downtowns, mixed-use neighborhood commercial districts, and village centers.

Main Street grants are revitalizing New York State's downtowns through targeted commercial/residential improvements such as façade renovations, interior commercial and residential building upgrades, and streetscape enhancements. NYMS funds are not available for building demolition or new construction.¹

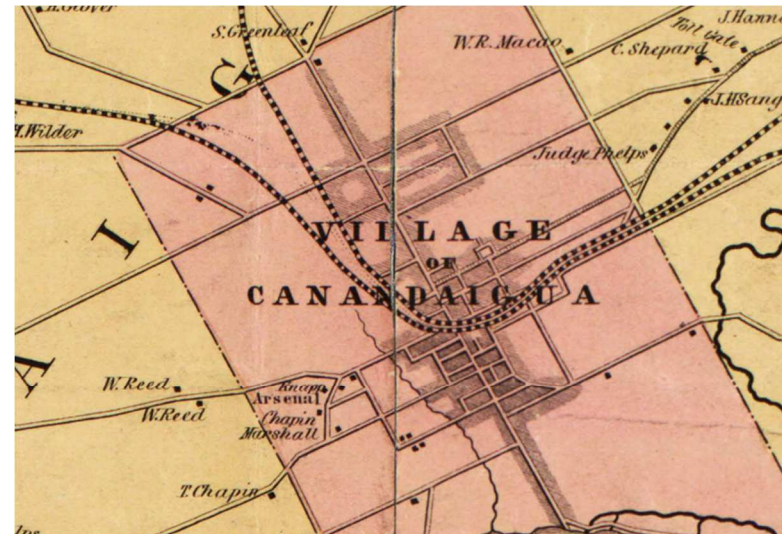
CBCA, a full service historic preservation, architecture, and grant services firm with significant NYMS experience, was chosen to provide owners with a Building Feasibility Analysis. Our work included a site visit with each owner to hear plans and visions for their properties, discuss desired reuse, interior renovations, and façade improvements. Owners reviewed and approved their projects.

¹ Information on NYMS Program gathered from <https://hcr.ny.gov/new-york-main-street>

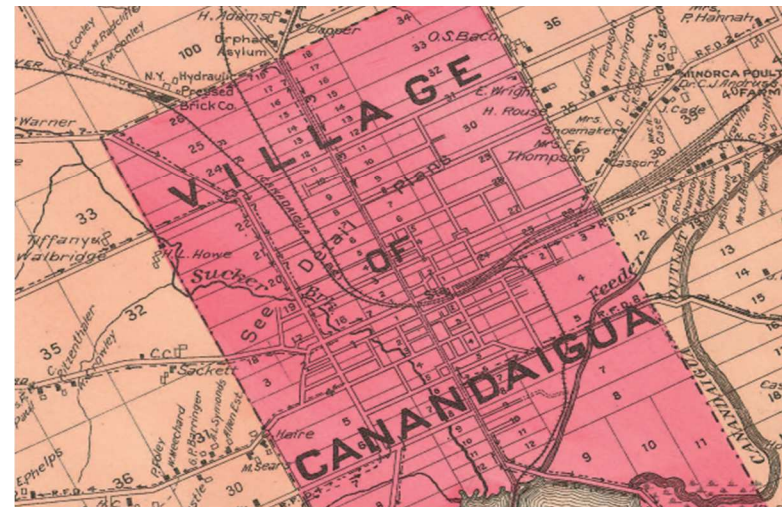
HISTORIC BACKGROUND & SIGNIFICANCE

The town of Canandaigua is located at the center of Ontario County, situated in the Finger Lakes region of New York State. The town's boundaries relate to the original land divisions of the Phelps & Gorham Purchase, which divided the land into ranges and townships; part of the east boundary is a line down the middle of Canandaigua Lake. Phelps designed the street layout of downtown Canandaigua with growth and elegance in mind: Main Street was unusually broad and was oriented in relation to the topography rather than north-south. This alignment took advantage of a natural rise to give Main Street property owners beautiful views toward the lake, and also directed Main Street away from the marshy area in the southeast part of the village.

The arrival of the railroad in the 1840s linked the town to markets across the country. Along with steamboat service, the railroad encouraged commerce and industrial development, and several industrial facilities prospered in the village of Canandaigua. This growth was reflected in its population growth, from about 3,528 village residents in 1840 to 6,151 in 1900. The town, meanwhile, saw a modest decline in population during the same period, from 2,165 in 1850 to 2,133 in 1900. This decline in population at the end of the century was related to increases in efficiency in agriculture, such that tasks that were labor-intensive in the first half of the nineteenth century required far fewer hours to complete by the turn of the century.²



Village of Canandaigua in 1852 Source: townofcanandaigua.org



Village of Canandaigua in 1904 Source: townofcanandaigua.org

² Source: *Reconnaissance-Level Survey of the Town of Canandaigua, New York Part 1: historic Context Statement* by Bero Architecture, PLLC, June 2019)

OVERVIEW OF FEASIBILITY ANALYSIS

The purpose of the project is to undertake a Feasibility Analysis for specific properties on Main Street regarding rehabilitation and re-use options and associated costs, that advance the community's ability to revitalize this mixed-use corridor and to qualify for future New York Main Street funding. Four buildings were selected.

Our Analyses of each building includes:

- ✦ Observe existing visible conditions of buildings identified by the City through a selection process to evaluate their condition and determine their suitability for reuse and/or rehabilitation.
- ✦ Meet with identified property owners to discuss desired re-uses, interior renovations and façade improvements, and budget for renovations and improvements of the identified buildings.
- ✦ Prepare a preliminary Feasibility Analysis for City staff and City Council that contains an evaluation of each identified building including a general building condition analysis, proposed design concept renderings, scope of work, and order of magnitude cost estimates. Designs must be appropriate for the downtown's architectural standards and be consistent with other rehabilitation standards as required by relevant grant funding.
- ✦ Receive and incorporate suggested adjustments to the preliminary Feasibility Analysis.
- ✦ Submit final scopes/designs suitable for submission through the State Historic Preservation Office's Cultural Resource Information System (CRIS).
- ✦ Confer with City of Canandaigua and Canandaigua Business Improvement District staff as needed throughout the project.



Current view of study area, properties under study highlighted in blue
Source: Ontario County GIS

DESIGN CONCEPTS

- + 37-43 S. Main: John Flannigan Building
- + 88-92 S. Main: Carrousel Building
- + 103 S. Main: Vecchi Building
- + 151 S. Main: The Tracy Block

37- 43 S. Main Street John Flannigan Building

OVERVIEW: Located on the northeast corner of Main and Niagara, the John Flannigan building is a significant part of the downtown Canandaigua streetscape. Built in 1890, the building is listed on the National Register of Historic Places as contributing to the Canandaigua Historic District. The 2 ½ story Romanesque Revival building consists of a first story with storefronts facing both S. Main and Niagara streets. The upper story is apartments.

HISTORIC USE: The building has always functioned as a mixed used property with apartments and offices on the upper level. The first story commercial storefronts have served a range of purposes, including an appliance store, pizza restaurant, and convenience store.

CURRENT USE: The two-story building houses two retail businesses, RS Signature Kitchens which has an extensive display showroom for customers, and Mad Styles Hair Salon. The 2nd floor has five apartment units, two of which were recently renovated into contemporary units with all new finishes.

OWNER PROGRAM: Renovations of two of the remaining three existing 2-bedroom apartments into 1-bedroom units with a home office or “bonus room” for people working from home. The windows on the side and rear elevations for these apartments will be replaced with metal clad wood windows that fit the profile and openings of the existing and provide enhanced energy efficiency. The cupola window, a defining feature, will be repaired and restored.



View ca. 1980 Source: Building Structure Inventory Form



Current view, photo taken August 2020

OWNER PROGRAM – continued

Other exterior improvements include masonry restoration, new awning material on commercial units and repairs to the bulkhead foundation at the front stoops.

New forced hot air HVAC units will be installed in the two stores to provide clean filtered air. This will allow removal of the existing boiler from service.

PROPOSED EXTERIOR WORK RECOMMENDATIONS:

Scope of Recommended Work:

We recommend a historically appropriate restoration of the Main Street façade, including the repair or replacement of the following elements:

1. Masonry restoration.
2. Replacement of the cupola window to match existing profile and style.
3. Replacement of all 12 windows in the building with energy-efficient, metal clad wood windows to match existing openings and profiles, including the repairs to and replacement of the cupola window.
4. Replacement of existing awning material at commercial spaces.
5. Repairs at bulkhead / stoops.
6. Installation of 3m clear solar film on first floor storefront windows for retailers.



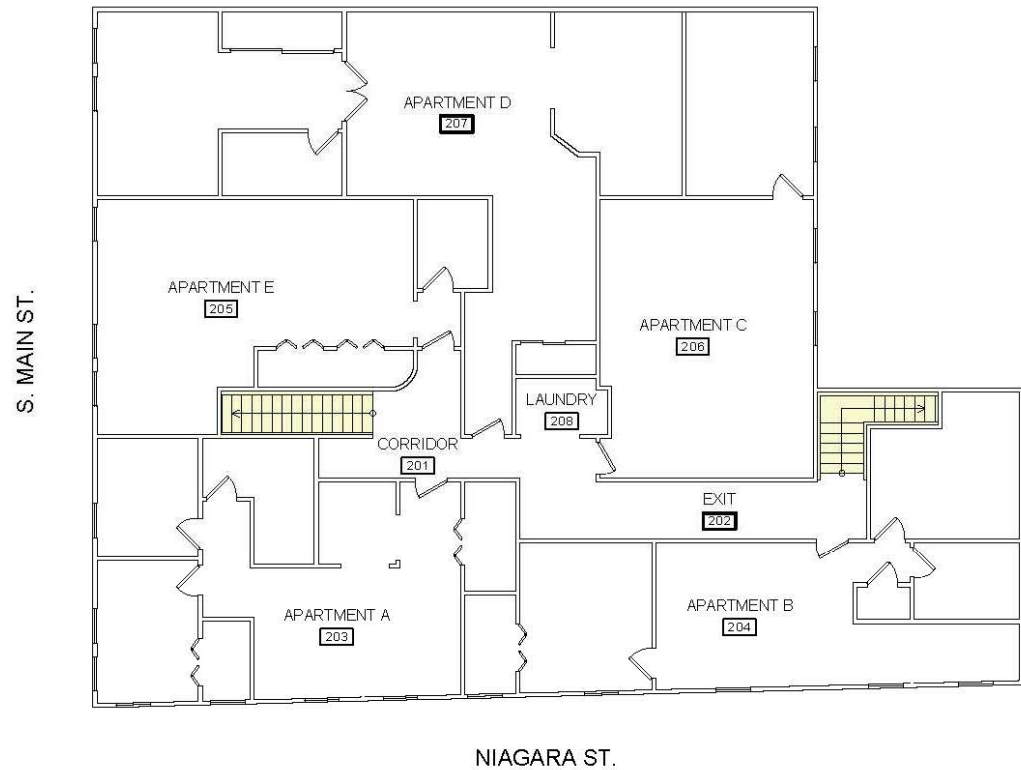
1 FRONT ELEVATION

0 4' 8' 16'
SCALE: 1/16" = 1'-0"

EXISTING FLOOR PLANS AND CONDITIONS:

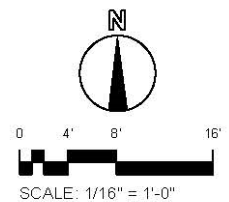
Units:

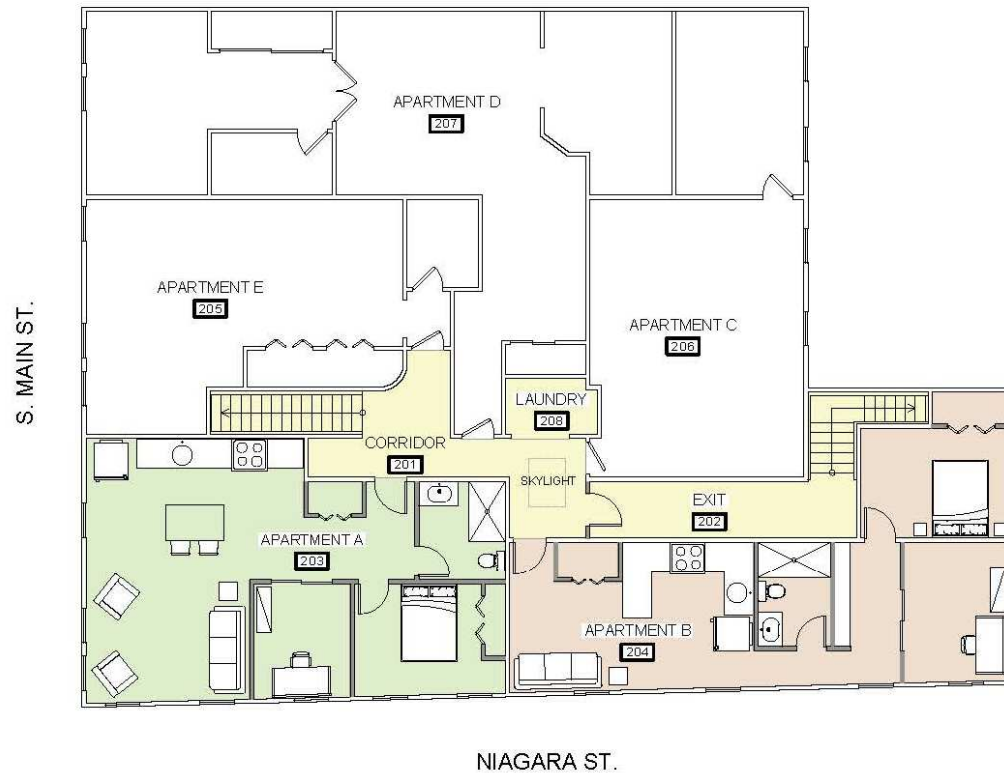
- ✦ Apartment A – 2 bd, 1 bath (700 sqft)
 - Fair Condition, To be Renovated
- ✦ Apartment B – 2 bd, 1 bath (725 sqft)
 - Fair Condition, To be Renovated
- ✦ Apartment C – 1 bd, 1 bath (560 sqft)
 - Existing Good, No Work
- ✦ Apartment D – 1bd, 1 bath (930 sqft)
 - Recently Renovated, No Work
- ✦ Apartment E – Studio (512 sqft)
 - Recently Renovated, No Work



2

SECOND FLOOR PLAN

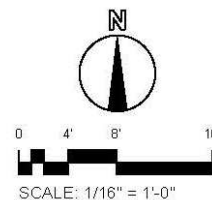




Scope of Recommended Work, cont'd:

7. Renovate outdated apartments A and B into 1-bedroom apartments with home office space.
8. Install forced-air HVAC units with air filtration capability for the two public storefront spaces, to provide clean filtered air, and remove the building's boiler from service.

3 PROPOSED SECOND FLOOR PLAN



Budget:

| 37 S. Main St. - ELIGIBLE IMPROVEMENTS | ESTIMATED COST |
|---|-----------------------|
| Renovate 1 st existing, outdated apartment into 1-bedroom apt w/ home office space | \$33,334 |
| Renovate 2 nd existing, outdated apartment into 1-bedroom apt w/ home office space | \$33,334 |
| Install forced-air HVAC units with air filtration capability for the two public storefront spaces, to provide clean filtered air, and remove the building's boiler from service | \$17,997 |
| Replace all 12 windows in the building with energy-efficient, metal clad wood windows to match existing openings and profiles, including the repairs to and replacement of the cupola window | \$30,000 |
| Masonry restoration, replace canvas awning material at first floor, repairs to the commercial entrances, bulkheads & front stoop. Install 3M solar / security film on the commercial unit storefront windows for energy efficiency and safety | \$14,000 |
| Soft costs (for final architecture, engineering, environmental, permitting) | \$17,000 |
| Total Cost Budget | \$145,665 |

NOTE: This preliminary project cost budget is provided for the purpose of this feasibility report, to determine a budget for project planning and funding requests. Further business plan development is recommended along with determinations of the quality level for owner's exterior and interior materials and finishes.

The cost budget is based on experience in similar rehabilitation and renovation projects in various locations in NYS. The current construction climate during the pandemic and funding may impact the budgets.

We highly recommend that the owner pursue historic preservation tax credits. These are credits of 40% of qualified rehabilitation expenses spent in the historic building.

EXISTING CONDITIONS PHOTOS:



Front Façade – August 2020



Façade, detail of Cupola



Façade and side elevation, looking Northeast



Façade, detail of storefront

EXISTING CONDITIONS PHOTOS CONT'D:



Façade, detail of storefront



Side Elevation



Rear Elevation



Rear Elevation



Rear Elevation, Detail of deteriorated brick



Side Elevation, detail of storefront



Rear Elevation, Detail of deteriorated brick

EXISTING CONDITIONS PHOTOS CONT'D:



Apartment A Interior



Apartment A Interior



Apartment A Interior



Apartment A Interior



Apartment A Interior



Apartment A Interior

EXISTING CONDITIONS PHOTOS CONT'D:



Apartment B Interior



Apartment B Interior



Apartment B Interior



Apartment B Interior

88-92 S. Main Street Carrousel Building

OVERVIEW: Located near the southwest corner of S. Main and Coy Streets, the building at 88-92 S. Main is a significant part of the downtown Canandaigua streetscape. Built in 1890, the building is listed on the National Register of Historic Places and is contributing to the Canandaigua Historic District. The first story has storefronts facing S. Main Street. The second story has 2 commercial spaces and 2 shared toilet rooms. The third story has 2 vacant lofts. These are intended to be converted to 2 apartments. There is a 1-story addition and an entrance addition for access from the public parking lot at the rear.

HISTORIC USE: Since its construction, the Carrousel Building has housed a number of commercial businesses in its first story. The storefronts have functioned as a dentist, pizza parlor, and pharmacy.

CURRENT USE: The three-story building houses two currently vacant retail spaces. The second floor has a yoga studio and a massage therapist salon. The third floor is vacant and used only for storage.

OWNER PROGRAM: Renovations of the third floor vacant space into two new units, a 1 bedroom and a 2 bedroom that will overlook S. Main Street. This renovation will include a new ADA 2nd means of egress from the third floor and install an HVAC system. The exterior projects include new signage for the commercial spaces, replacing the existing awning material at one store and installing a new awning at the other store and replacing the flooring.



View ca. 1980 Source: Building Structure Inventory Form



Current view, photo taken August 2020

PROPOSED EXTERIOR RENOVATIONS:

Scope of Recommended Work:

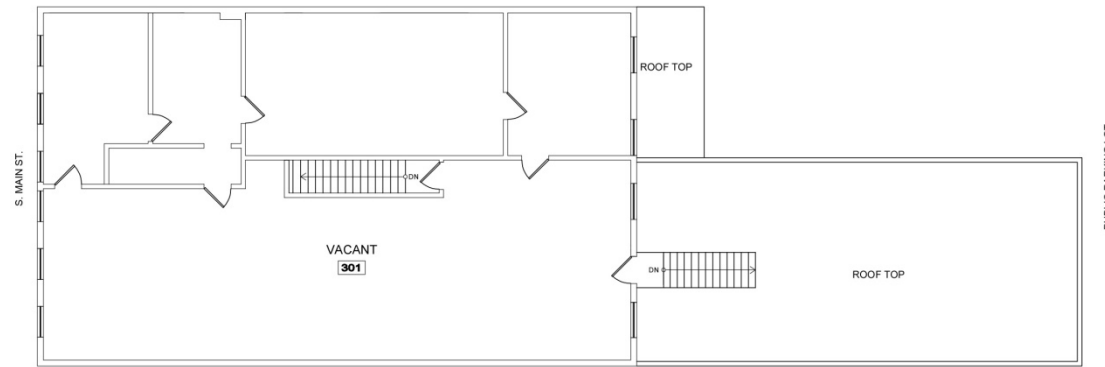
1. Exterior façade renovations to include painting sign boards & installing new signage
2. Install new awning on south storefront
3. Install new awning material on north storefront



EXISTING FLOOR PLANS AND CONDITIONS:

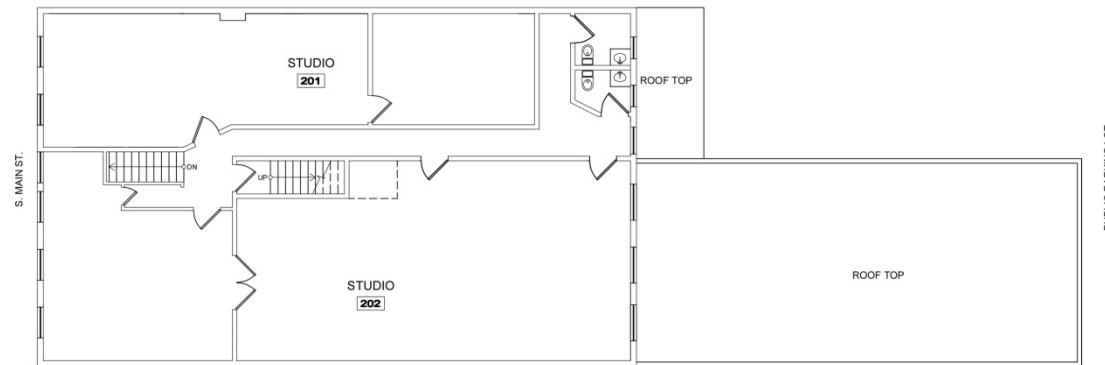
Units:

- ✦ Third floor:
 - Vacant

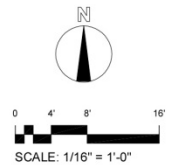


1 EXISTING THIRD FLOOR PLAN

- ✦ Second Floor:
 - North-Studio
 - South-Studio



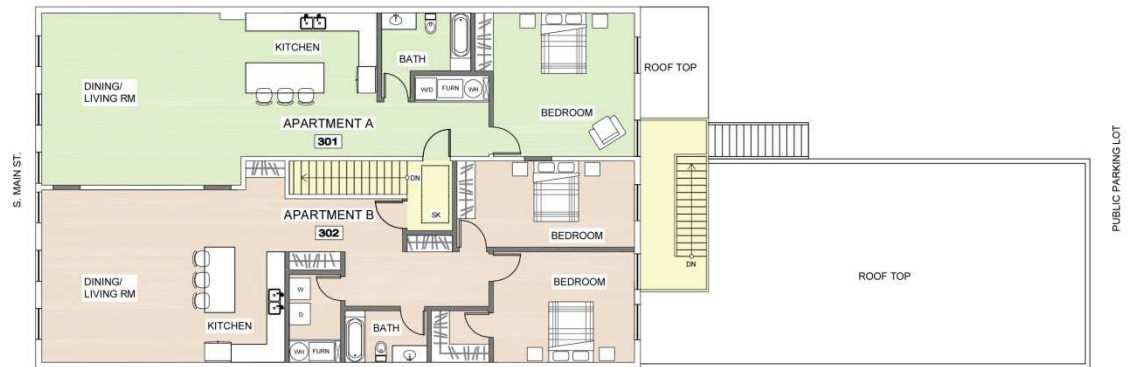
2 EXISTING SECOND FLOOR PLAN



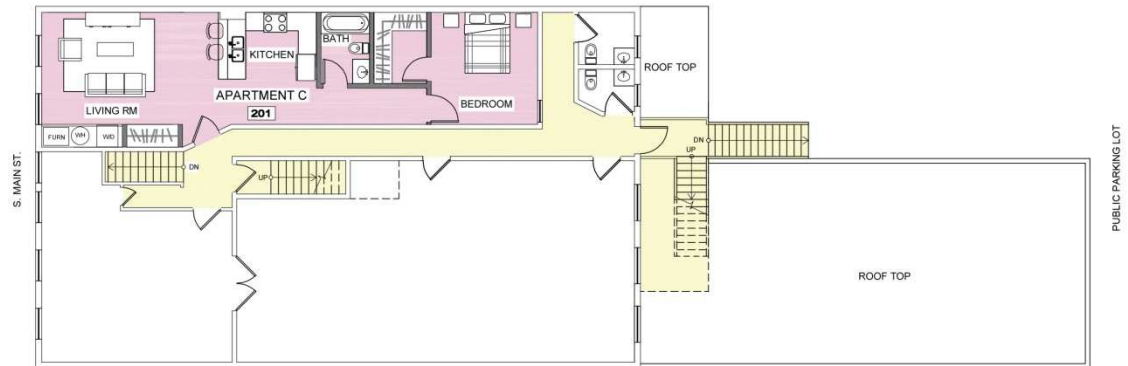
PROPOSED INTERIOR RENOVATIONS:

Scope of Recommended Work:

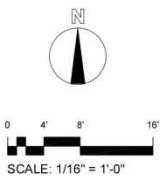
4. HVAC system upgrades for energy efficiency. One for each unit.
5. Create a 2nd means of egress from 3rd floor
6. Renovations to create a new 1-bedroom residential unit on 3rd floor
7. Renovations to create a new 2-bedroom residential unit on 3rd floor
8. Phase 2 - renovate 2nd floor commercial space to a 1-bedroom residential unit (TBD)



1 PROPOSED THIRD FLOOR PLAN



2 PROPOSED SECOND FLOOR PLAN



Budget:

| 92 S. Main St. - ELIGIBLE IMPROVEMENTS | ESTIMATED COST |
|--|-----------------------|
| Exterior façade renovations to include painting sign boards & installing new signage | \$5,000 |
| Install new awning on south storefront | \$3,500 |
| Install new awning material on north storefront | \$2,000 |
| HVAC system upgrades for energy efficiency (2nd floor commercial tenants) | \$30,000 |
| Create ADA 2nd means of egress from 3rd fl | \$8,000 |
| Replace flooring in 88 S. Main storefront | \$4,301 |
| Point-of-sale system (hardware only) (COVID mitigation) | \$799 |
| Professional web design for online sales (COVID mitigation) | \$1,500 |
| Renovations to create a new 1-bedroom residential unit on 3rd fl | \$36,000 |
| Renovations to create a new 2-bedroom residential unit on 3rd fl | \$43,000 |
| Phase 2 - renovate 2nd fl commercial space to a 1-bedroom residential unit (TBD) | |
| Soft costs (for final architecture, engineering, environmental, permitting) | \$15,000 |
| Total Cost Budget | \$149,100 |

NOTE: This preliminary project cost budget is provided for the purpose of this feasibility report, to determine a budget for project planning and funding requests. Further business plan development is recommended along with determinations of the quality level for owner's exterior and interior materials and finishes.

The cost budget is based on experience in similar rehabilitation and renovation projects in various locations in NYS. The current construction climate during the pandemic and funding may impact the budgets.

We highly recommend that the owner pursue historic preservation tax credits. These are credits of 40% of qualified rehabilitation expenses spent in the historic building.

EXISTING CONDITIONS PHOTOS:



Front Façade



Front Façade, detail of storefronts



Rear elevation showing parking lot entrance



Rear 1-story addition

EXISTING CONDITIONS PHOTOS CONT'D:



2nd Floor, North Commercial Space



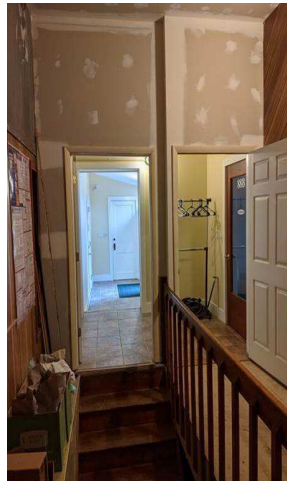
1st Floor, Entrance from tenant space to exit vestibule



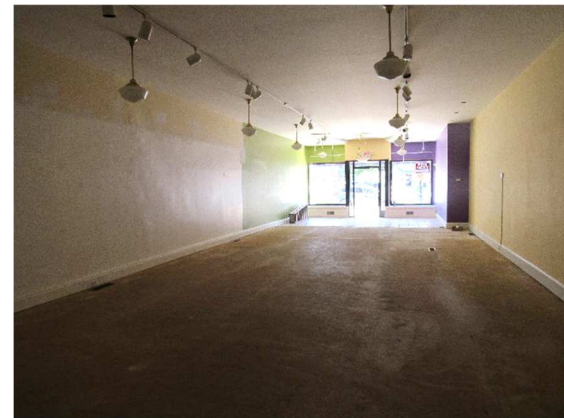
2nd Floor, South Commercial Space



2nd Floor, North Commercial space



*1st Floor, Basement stair,
exit vestibule*



1st Floor, North Commercial Space

EXISTING CONDITIONS PHOTOS CONT'D:



3rd Floor, North unit, looking towards lot



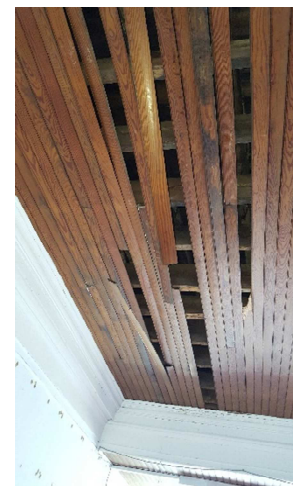
3rd Floor, South unit, middle room



3rd Floor, South unit, overlooking Main St



3rd Floor, South unit, looking towards lot



3rd Floor, Detail of ceiling water damage

103 S. Main Street Vecchi Building

OVERVIEW: The building at 103 S. Main Street is centrally located in the Canandaigua Historic District, adjacent to the Chamber of Commerce building. Built ca. 1850, it is a significant part of the downtown Canandaigua streetscape. The building is listed on the National Register of Historic Places and is contributing to the Canandaigua Historic District. With a brick exterior and simple frieze, it fits in with surrounding buildings built in the early nineteenth century. A parking area is on the south side of the building, along an alley.

HISTORIC USE: The first story of the Vecchi building originally functioned as a steam bakery. Other historic uses have included a barber shop and small restaurants.

CURRENT USE: The three-story building houses the restaurant Simply Crepes on the first floor with additional restaurant seating for small events on the second floor as well as an outdoor patio in the rear of the property. The third floor has been vacant and is currently used for storage.

OWNER PROGRAM: Renovations of the third floor vacant space into two new 1-bedroom lofts that will help produce additional income for the property and downtown upper floor living. The exterior projects include replacing the existing awning material at the restaurant entrance patio and possibly recreating the metal cornice that was removed many years ago. Also planned is renovating the basement area to create a new rathskeller experience for customers and another phase is to install a 4-stop elevator addition at the rear.



View ca. 1980 Source: Building Structure Inventory Form



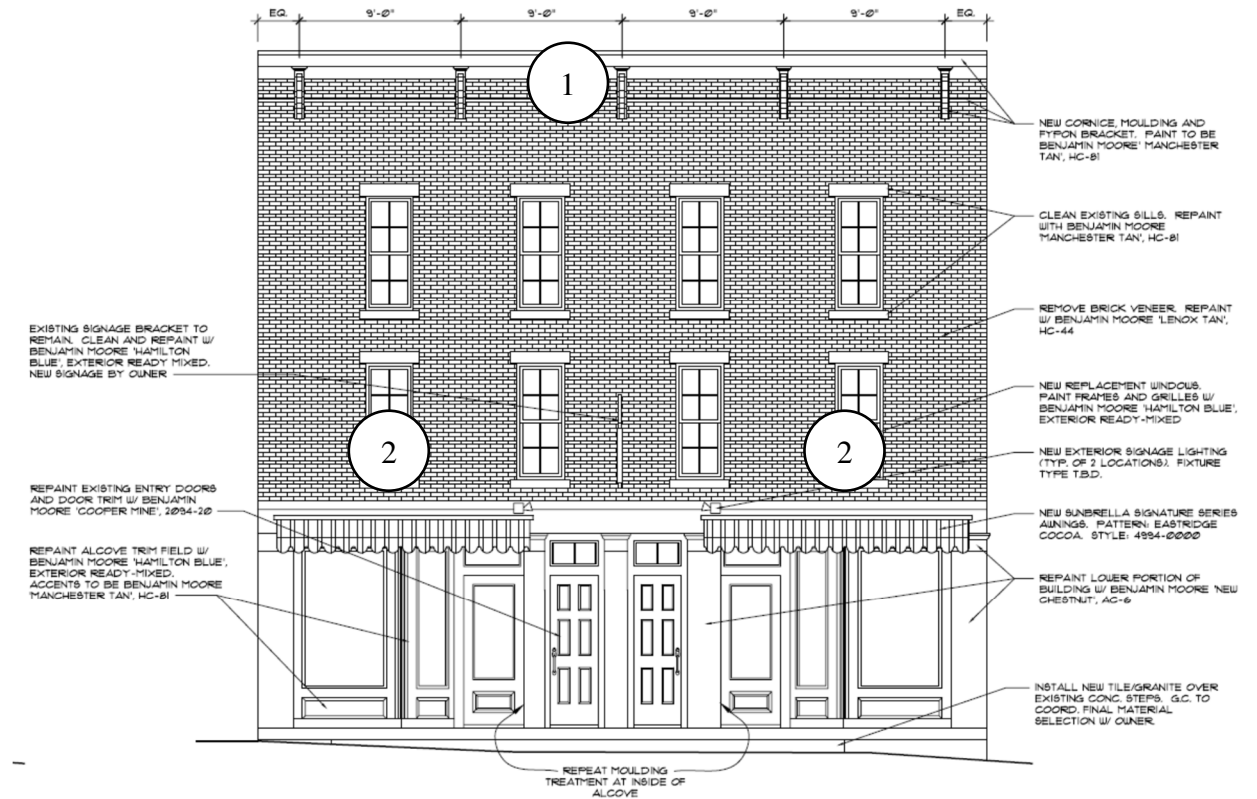
Current view, photo taken August 2020

PROPOSED EXTERIOR RECOMMENDATIONS:

Scope of Recommended Work:

We recommend a historically appropriate restoration of the S. Main Street façade, including the repair, replacement or restoration of the following elements, as per a previous design:

1. Remove and replace canvas awning material at (2) storefronts
2. Install new metal cornice at front (west) facade compatible in design to historic building.



N
2"

2
CI

PROPOSED ELEVATION

HANLON 

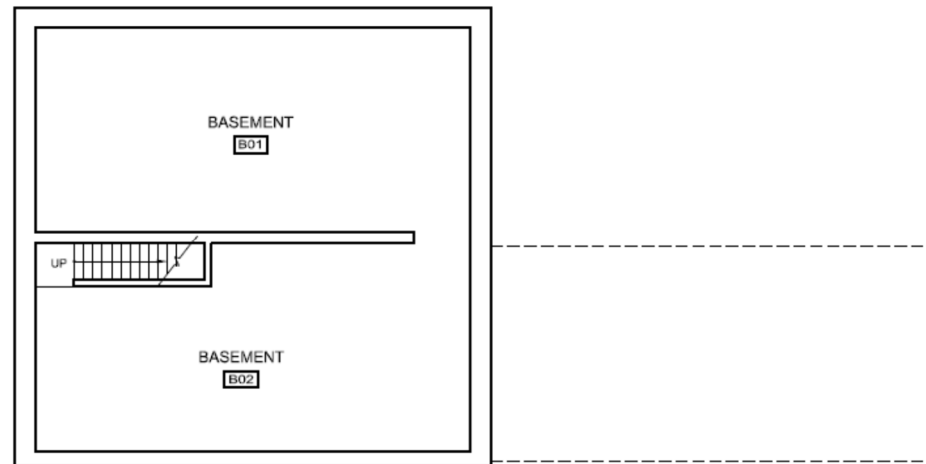
ARCHITECTS

6605 Pittsford Palmyra Road Suite W5
Fairport, NY 14450
585-223-6440 Fax 585-425-0898

EXISTING FLOOR PLANS AND CONDITIONS:

Units:

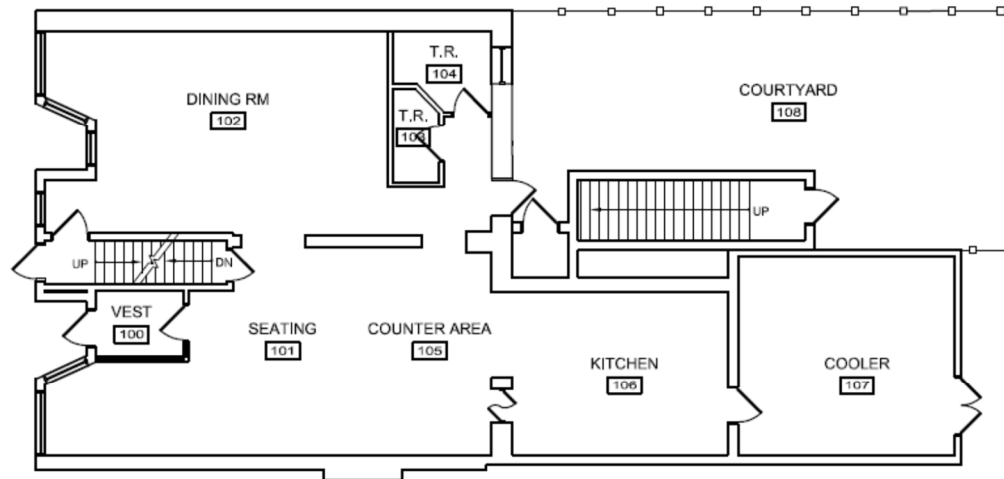
- ✦ Basement:
 - Utility/Storage space



B BASEMENT FLOOR PLAN - EXISTING

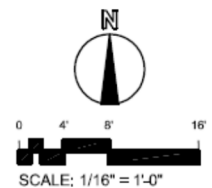
- ✦ 1st Floor:
 - Restaurant

S MAIN STREET



1 FIRST FLOOR PLAN - EXISTING

PHOENIX STREET

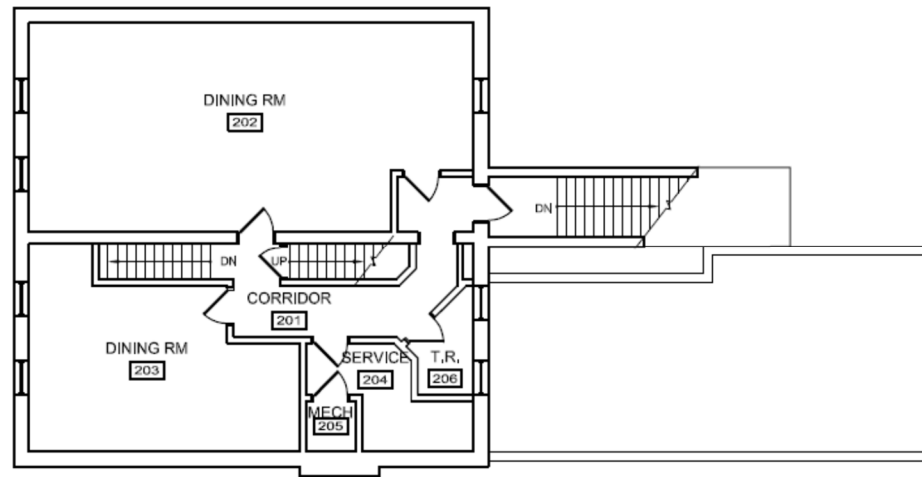


EXISTING FLOOR PLANS AND CONDITIONS:

Units:

✦ 2nd Floor:

- Restaurant



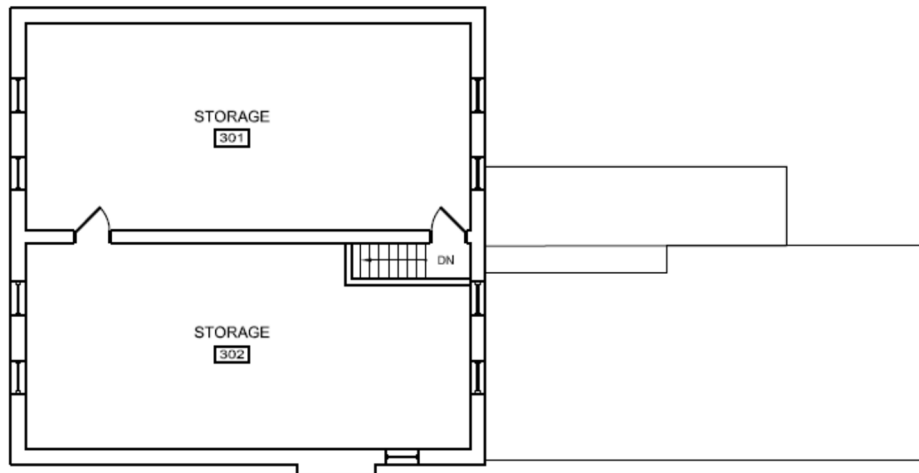
2

SECOND FLOOR PLAN - EXISTING

✦ 3rd Floor:

- Storage Space

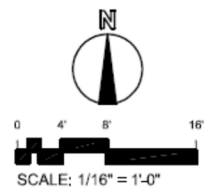
S MAIN STREET



3

THIRD FLOOR PLAN - EXISTING

PHOENIX STREET



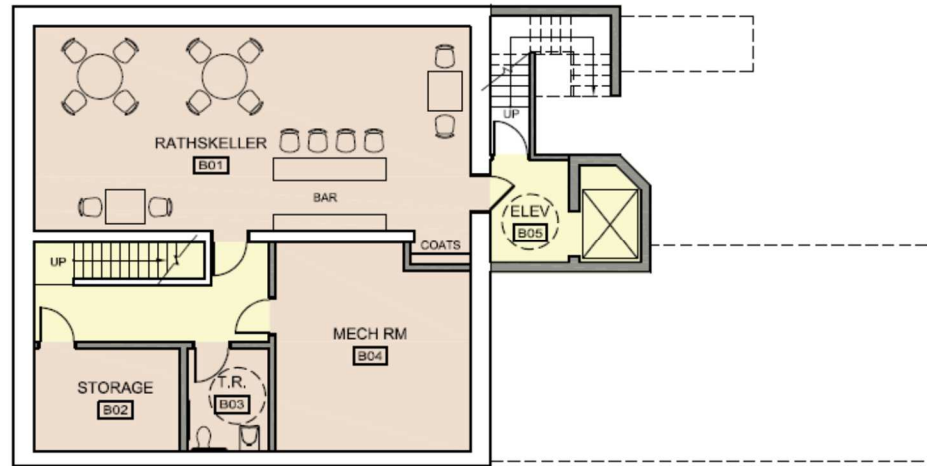
PROPOSED INTERIOR RECOMMENDATIONS:

Scope of Recommended Work:

We recommend a historically compatible rehabilitation of the interior, including the following elements:

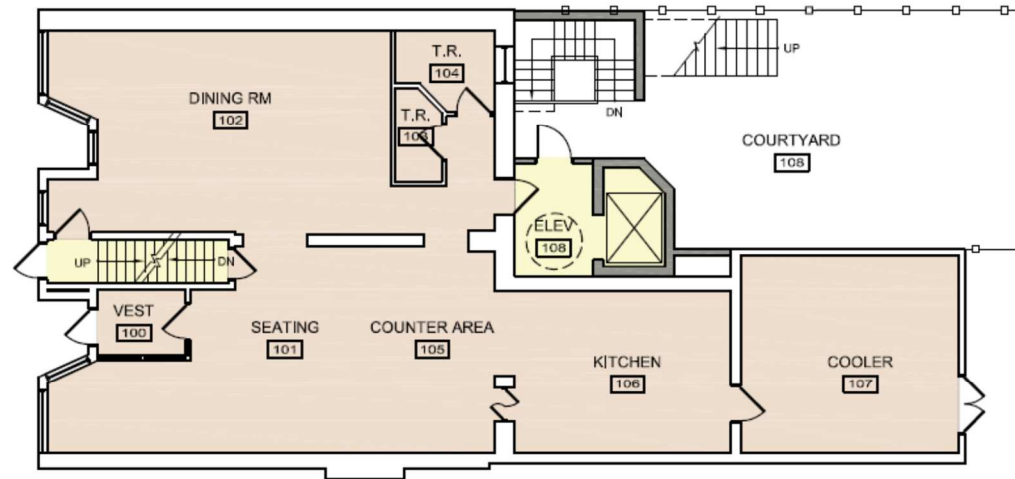
3. Construct a 3-run metal exterior stair in a concrete shaft on the rear (east) façade to provide a direct exterior entrance from grade to the new rathskeller pub at basement level
4. Remove and retain for re-use an existing metal exterior stair from grade to the second floor. Install new metal and concrete deck at second floor. Relocate existing exterior metal stair for egress from second floor deck.
5. Construct a small 3-story addition on the rear (east) façade & install a 4-stop, handicapped accessible hydraulic passenger elevator w/ lobbies at each of four levels.
6. Renovate unfinished basement level to create a rathskeller pub for restaurant: excavate existing dirt floor for new concrete floor; repair and restore existing stone walls, install new door openings and doors; install new fire-rated ceiling while retaining historic wood structure; install new universally accessible toilet room, coat closet and corridor to service stair; install all MEP systems; coordinate installation of bar and fixtures with owner.
7. Construct new wood interior stair from 2nd to 3rd floor to meet egress code compliance
8. Renovate vacant 3rd Floor into two 1-bedroom apartments
9. Install 3 skylights in roof

**PROPOSED INTERIOR
RECOMMENDATIONS, CONT'D:**



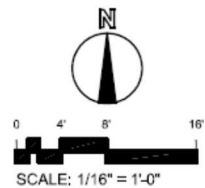
B BASEMENT FLOOR PLAN - PROPOSED

S MAIN STREET

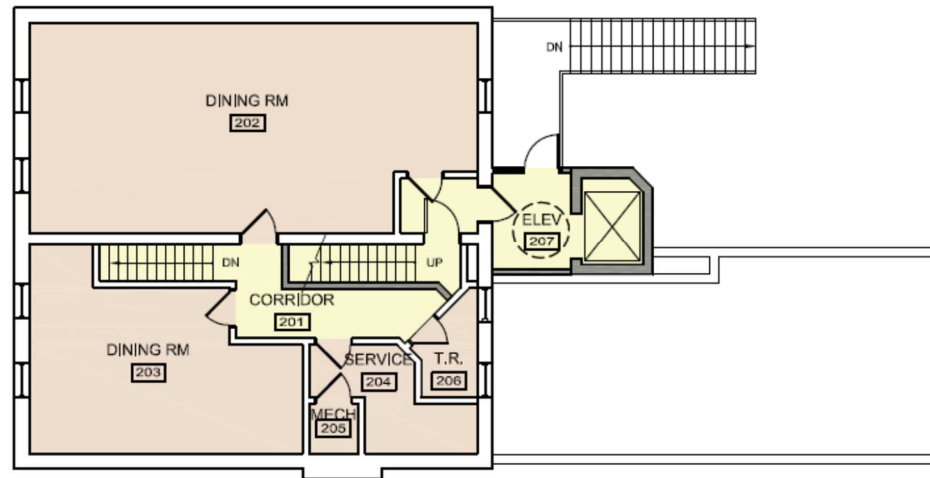


1 FIRST FLOOR PLAN - PROPOSED

PHOENIX STREET

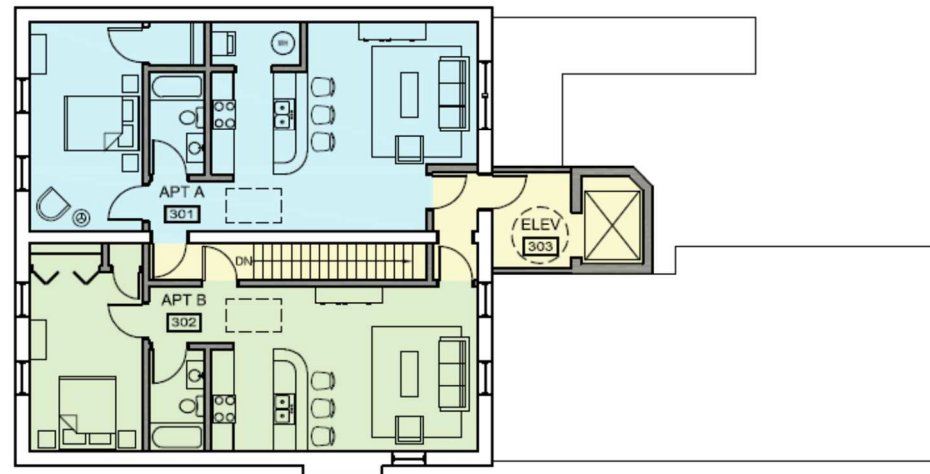


**PROPOSED INTERIOR
RECOMMENDATIONS, CONT'D:**



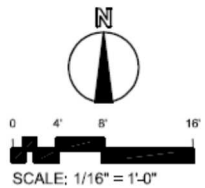
2 SECOND FLOOR PLAN - PROPOSED

S MAIN STREET



3 THIRD FLOOR PLAN - PROPOSED

PHOENIX STREET



BUDGET:

| 103 S. Main ELIGIBLE IMPROVEMENTS | ESTIMATED COST |
|---|-----------------------|
| Remove and replace canvas awning material at (2) storefronts | \$2,000 |
| Install new metal cornice at front (west) facade compatible in design to historic building. | \$4,000 |
| PHASE 2 - cost TBD - Construct a small 3-story addition on the rear (east) façade & install a 4-stop, handicapped accessible hydraulic passenger elevator w/ lobbies at each of four levels. | TBD |
| Construct a 3-run metal exterior stair in a concrete shaft on the rear (east) façade to provide a direct exterior entrance from grade to new rathskeller pub at basement level | \$5,000 |
| Remove and retain for re-use an existing metal exterior stair. Install new metal and concrete deck at second floor Relocate existing exterior metal stair for egress from second floor deck. | \$4,500 |
| Renovate unfinished basement level to create a rathskeller pub for restaurant: excavate existing dirt floor for new concrete floor; repair and restore existing stone walls, install new door openings and doors; install new fire-rated ceiling while retaining historic wood structure; install new universally accessible toilet room, coat closet and corridor to service stair; install all MEP systems; coordinate installation of bar and fixtures with owner. | \$76,000 |
| Construct new wood interior stair from 2 nd to 3 rd floor to meet egress code compliance | \$3,000 |
| Renovate vacant 3 rd Floor into two 1-bedroom apartments | \$75,000 |
| Soft costs (for final architecture, engineering, environmental, permitting) NTE 18% for reimb | \$17,000 |
| Total Cost Budget | \$186,500 |

NOTE: This preliminary project cost budget is provided for the purpose of this feasibility report, to determine a budget for project planning and funding requests. Further business plan development is recommended along with determinations of the quality level for owner's exterior and interior materials and finishes.

This project entails significant work in a small work area. For instance, the basement needs to be hand dug because machines cannot access it. The existing foundations need to be supported while the floor/foundations for the rathskeller, stair and elevator are being constructed.

The cost budget is based on experience in similar rehabilitation and renovation projects in various locations in NYS. The current construction climate during the pandemic and funding may impact the budgets.

We highly recommend that the owner pursue historic preservation tax credits. These are credits of 40% of qualified rehabilitation expenses spent in the historic building.

EXISTING CONDITIONS PHOTOS:



Front Façade



Façade and side elevation, looking north



Façade, detail of storefront and entrances



Rear elevation



Rear elevation, detail of courtyard



1st Floor, Restaurant Interior



1st Floor, Restaurant Interior

EXISTING CONDITIONS PHOTOS, CONT'D:



2nd Floor, Restaurant Interior



3rd Floor, Apartment A



Basement



3rd Floor, Storage space



3rd Floor, Apartment B



Basement, detail of wall

151 S. Main Street The Tracy Block

OVERVIEW: Located at 151 S. Main Street, the Tracy Block was built in 1859 and sits directly across from the city park. The Commons. It is listed on the National Register of Historic Places as contributing to the Canandaigua Historic District. It is a three-story building with Italianate style detailing around its windows.

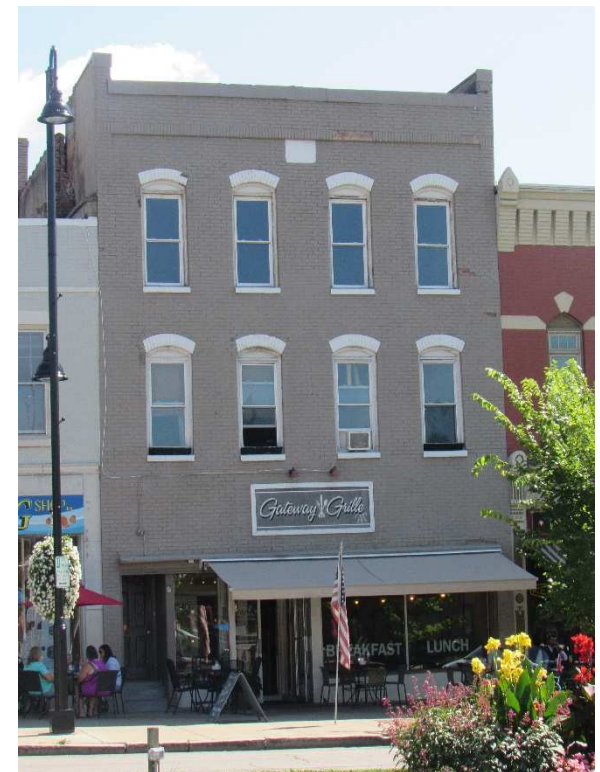
HISTORIC USE: First owned by Joshua Tracy, the building originally functioned as a prominent hotel. The second story was converted to apartments in 1979.

CURRENT USE: The three-story building houses the Gateway Grille restaurant on the first floor with additional restaurant seating in the front patio area. The second floor houses two apartments and the third floor has been vacant for many years and is currently not used.

OWNER PROGRAM: Renovations of the existing second floor 2-bedroom apartments with new kitchens, flooring and bathrooms. Exterior façade work includes installing new bi-fold doors at the restaurant to replace the existing windows, creating a better air flow atmosphere for the restaurant and additional seating space. Also replacing the malfunctioning windows on the 2nd and 3rd floors. A Phase 2 plan is to renovate the 3rd floor vacant space into another apartment.



View ca. 1980 Source: Building Structure Inventory Form



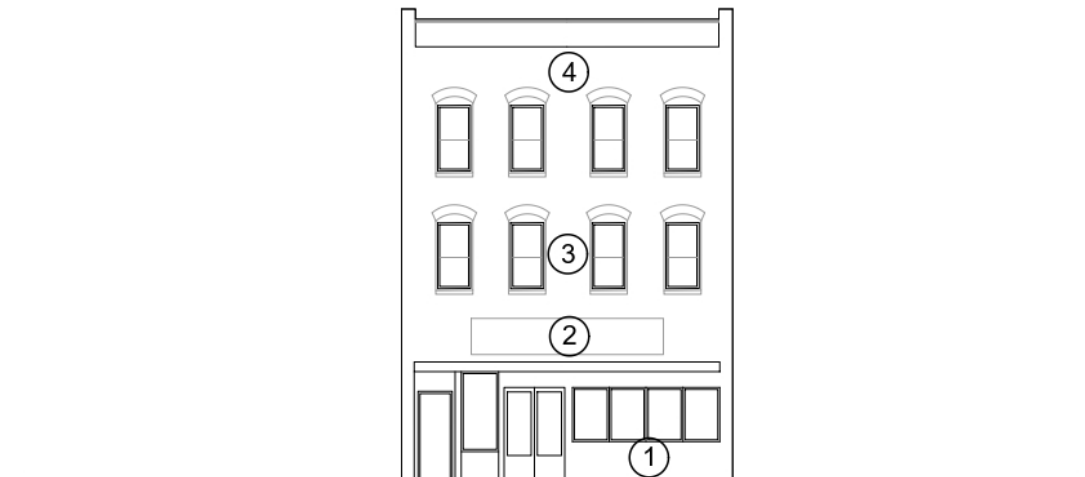
Current view, photo taken August 2020

EXTERIOR RECOMMENDATIONS:

Scope of Recommended Work:

We recommend an historically appropriate restoration of the Main Street façade, including the repair or replacement of the following elements:

1. Replacement of storefront and entrance, including the installation of a bi-fold window system that allows for increased airflow and access to outdoor seating on patio.
2. New signage and lighting.
3. Replacement of windows on second and third floors
4. Masonry restoration – remove existing brick veneer, options to repair brick if possible or install new brick veneer.



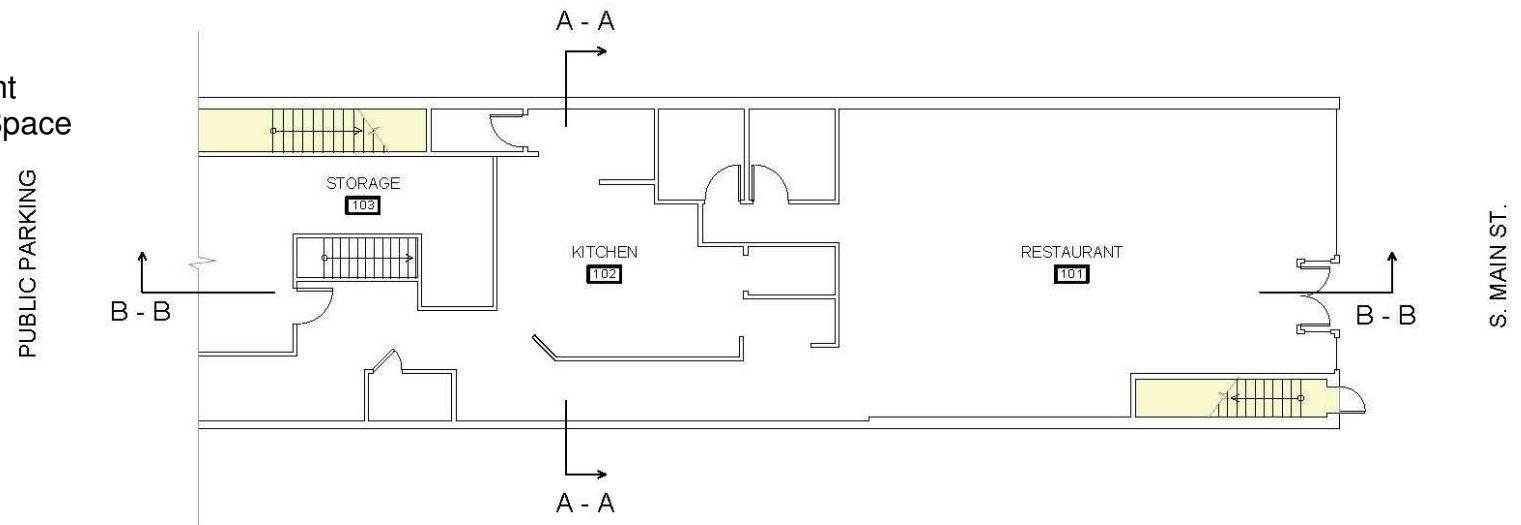
1 FRONT ELEVATION

0 4' 8' 16'
SCALE: 1/16" = 1'-0"

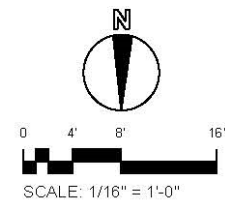
EXISTING FLOOR PLANS AND CONDITIONS:

Units:

- ✦ 1st Floor
 - Restaurant
 - Storage Space
 - Kitchen



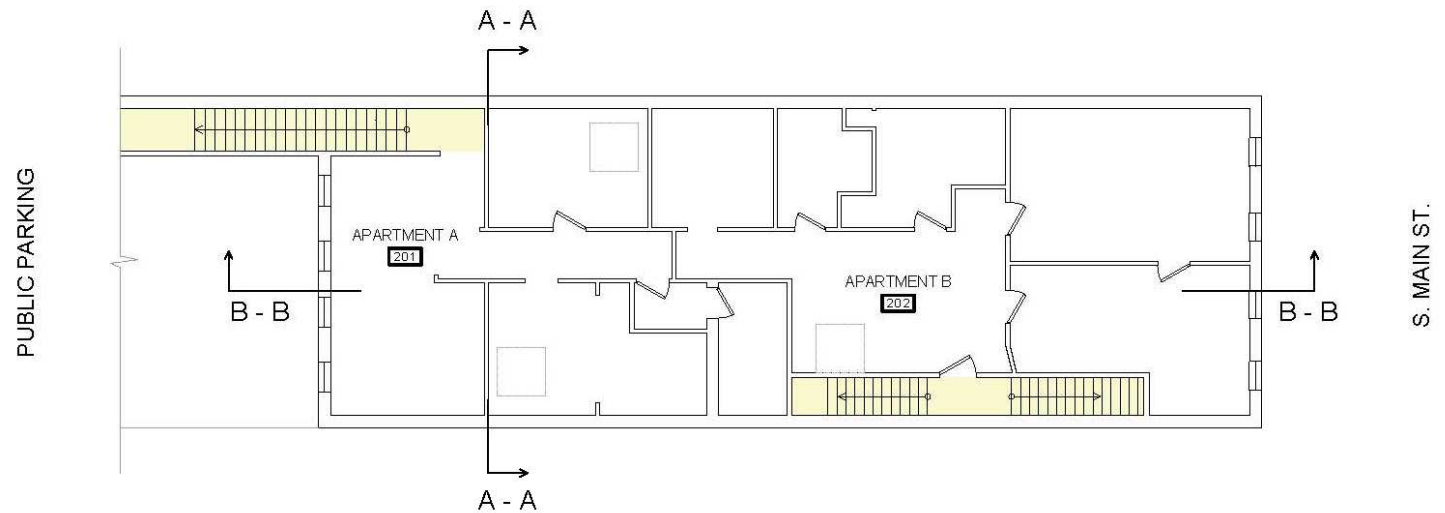
2 FIRST FLOOR PLAN



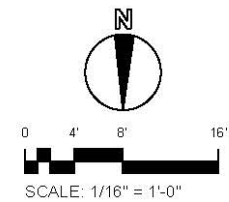
EXISTING FLOOR PLANS AND CONDITIONS, CONT'D

Units:

- ✦ 2nd Floor
 - Apartment A
 - Apartment B



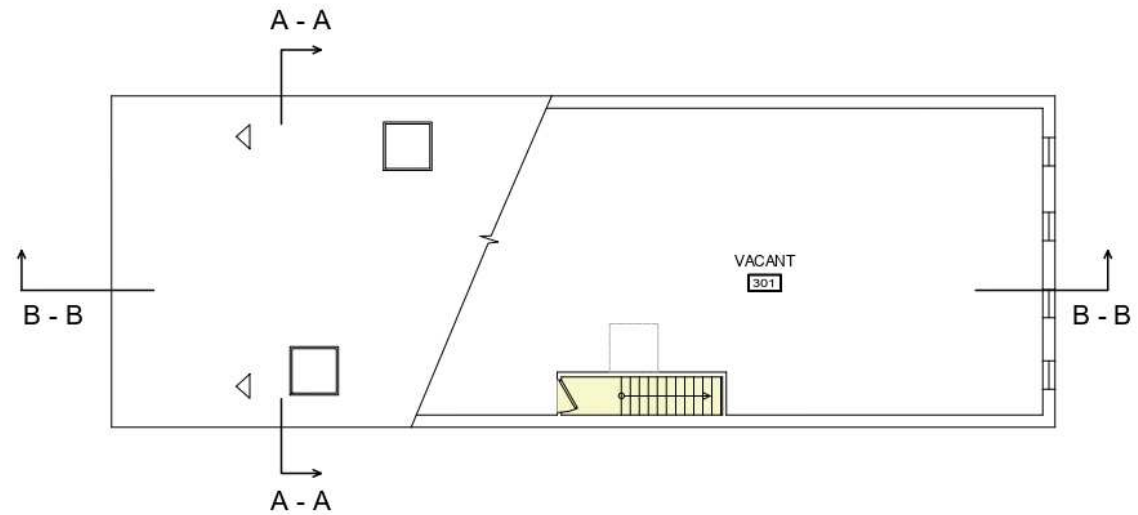
3 SECOND FLOOR PLAN



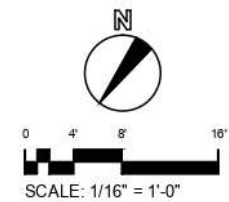
EXISTING FLOOR PLANS AND CONDITIONS, CONT'D:

Units:

✦ 3rd Floor
○ Vacant



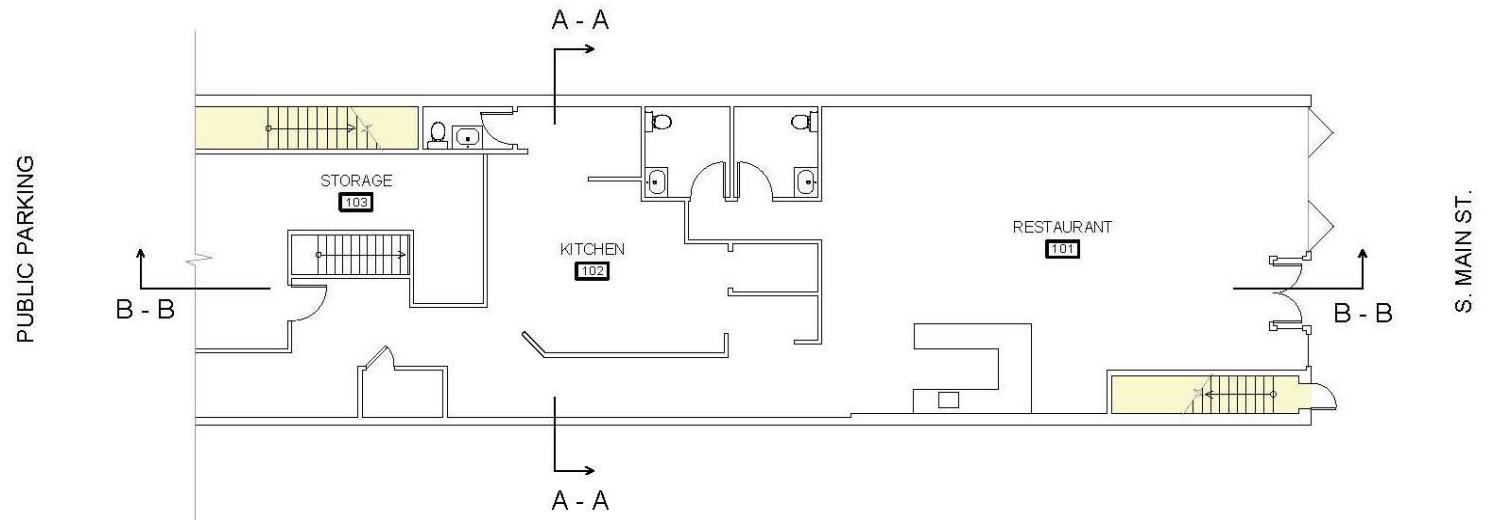
4 THIRD FLOOR PLAN



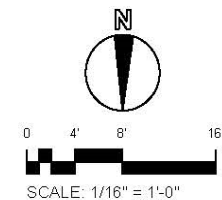
INTERIOR RENOVATIONS:

Scope of Recommended Work:

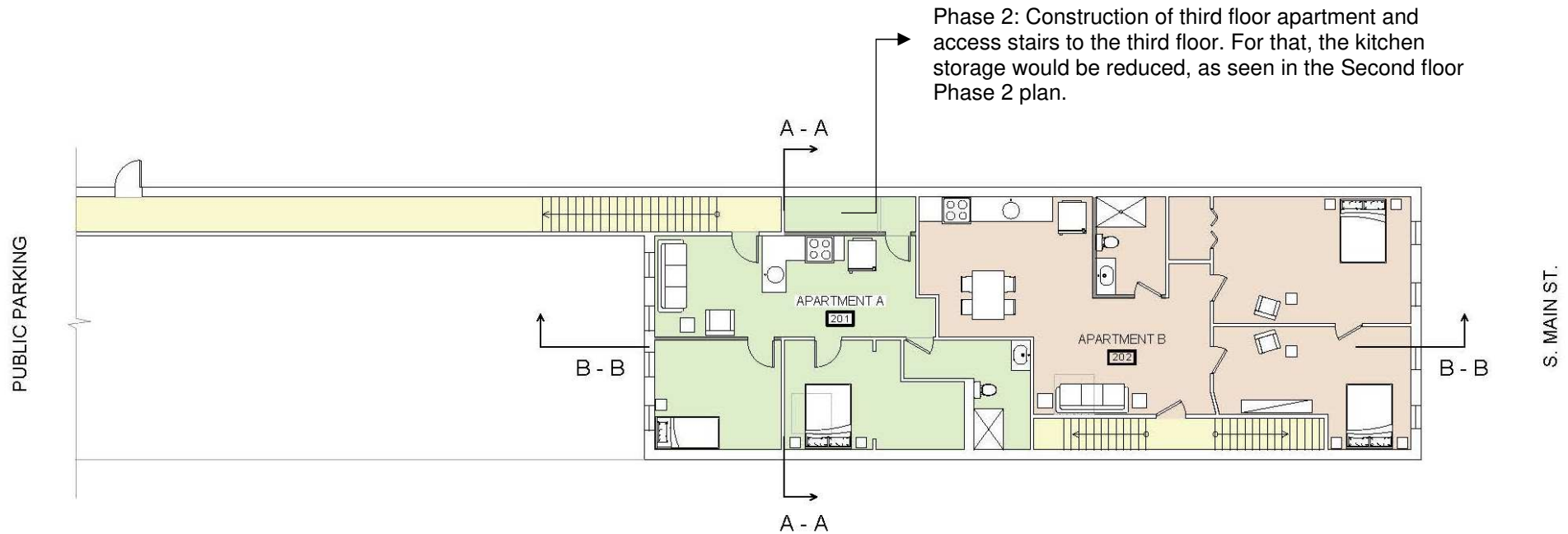
5. New bi-fold window system for front façade
6. Updates to the second floor apartments (new flooring, cabinets and appliances)
7. Possible new apartment on third floor and new access stairs



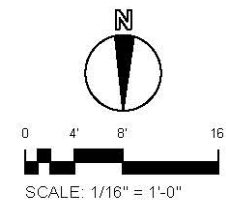
5 PROPOSED FIRST FLOOR PLAN



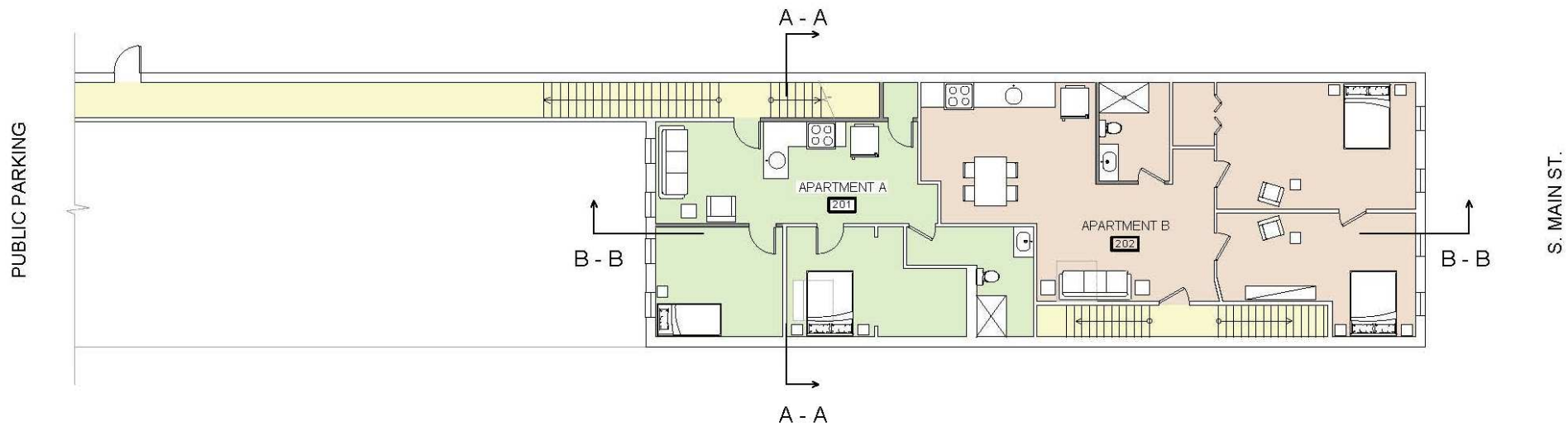
INTERIOR RENOVATIONS, CONT'D:



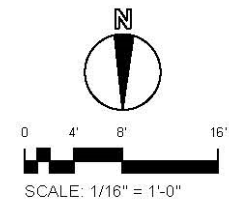
6 PROPOSED SECOND FLOOR PLAN - PHASE 1



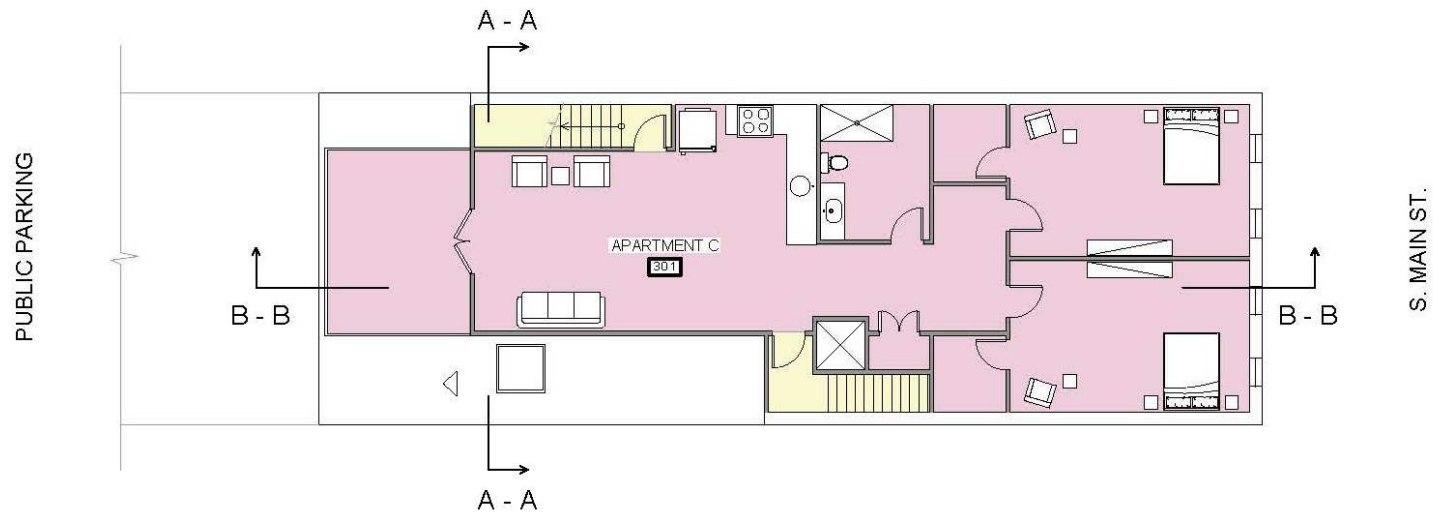
INTERIOR RENOVATIONS, CONT'D:



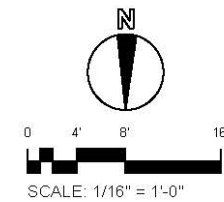
7 PROPOSED SECOND FLOOR PLAN - PHASE 2



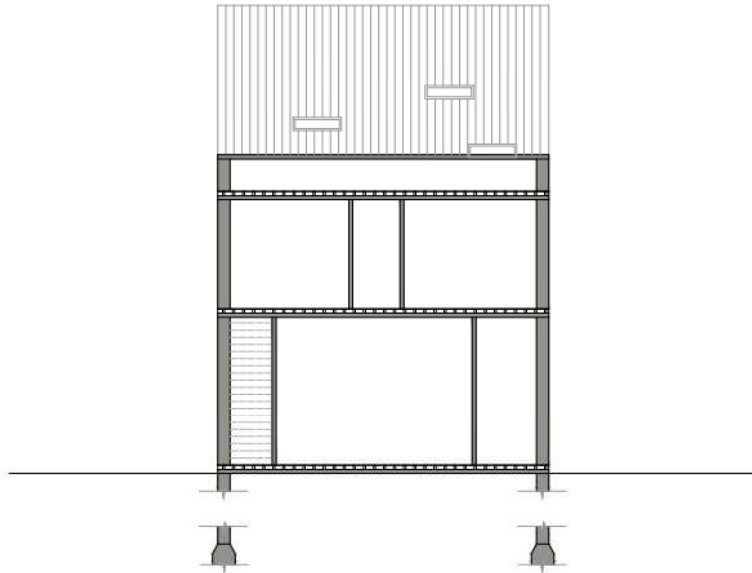
INTERIOR RENOVATIONS, CONT'D:



8 PROPOSED THIRD FLOOR PLAN - PHASE 2



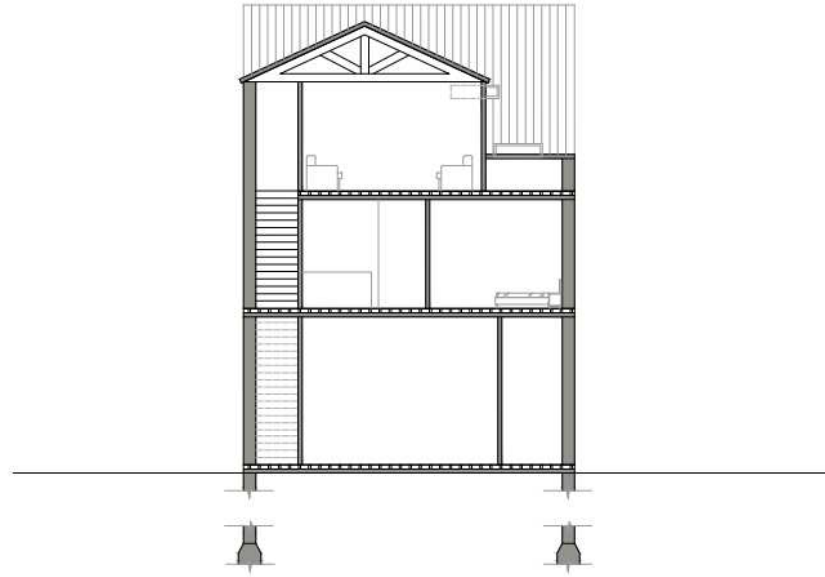
INTERIOR RENOVATIONS, CONT'D:



9 CURRENT CONDITIONS SECTION A-A

0 4' 8' 16'
SCALE: 1/16" = 1'-0"

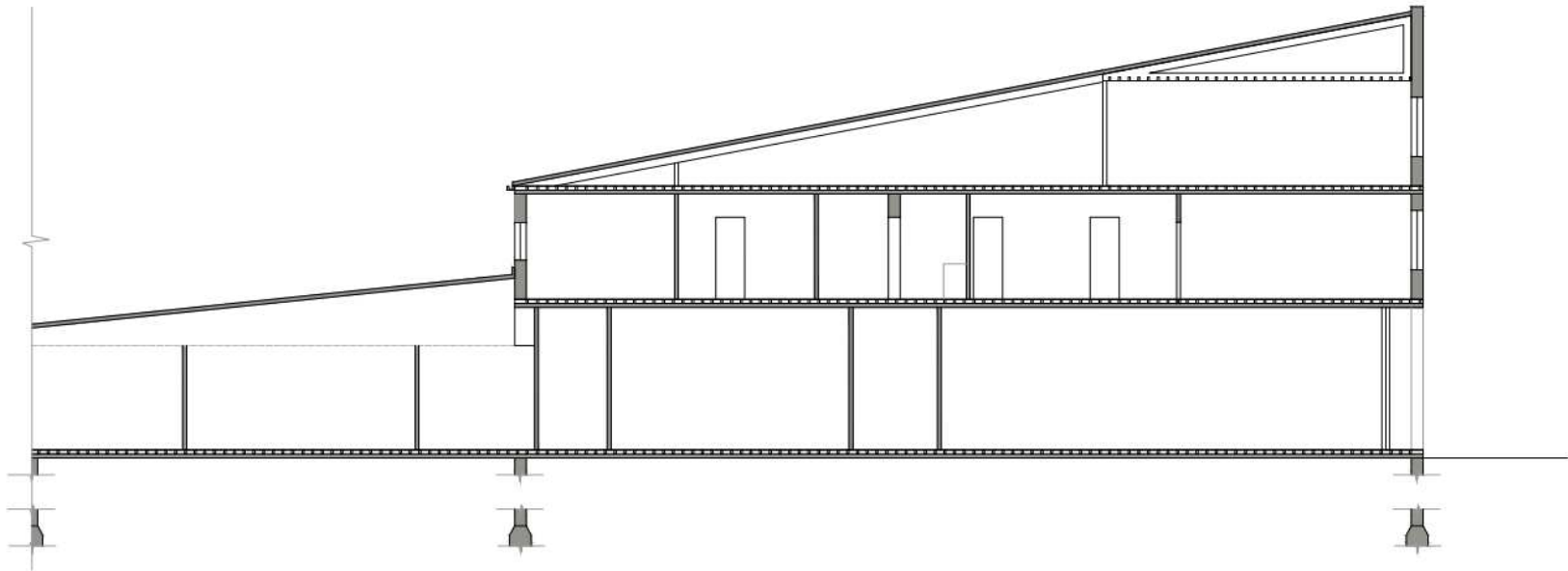
INTERIOR RENOVATIONS, CONT'D:



10 PROPOSED SECTION A-A

0 4' 8' 16'
SCALE: 1/16" = 1'-0"

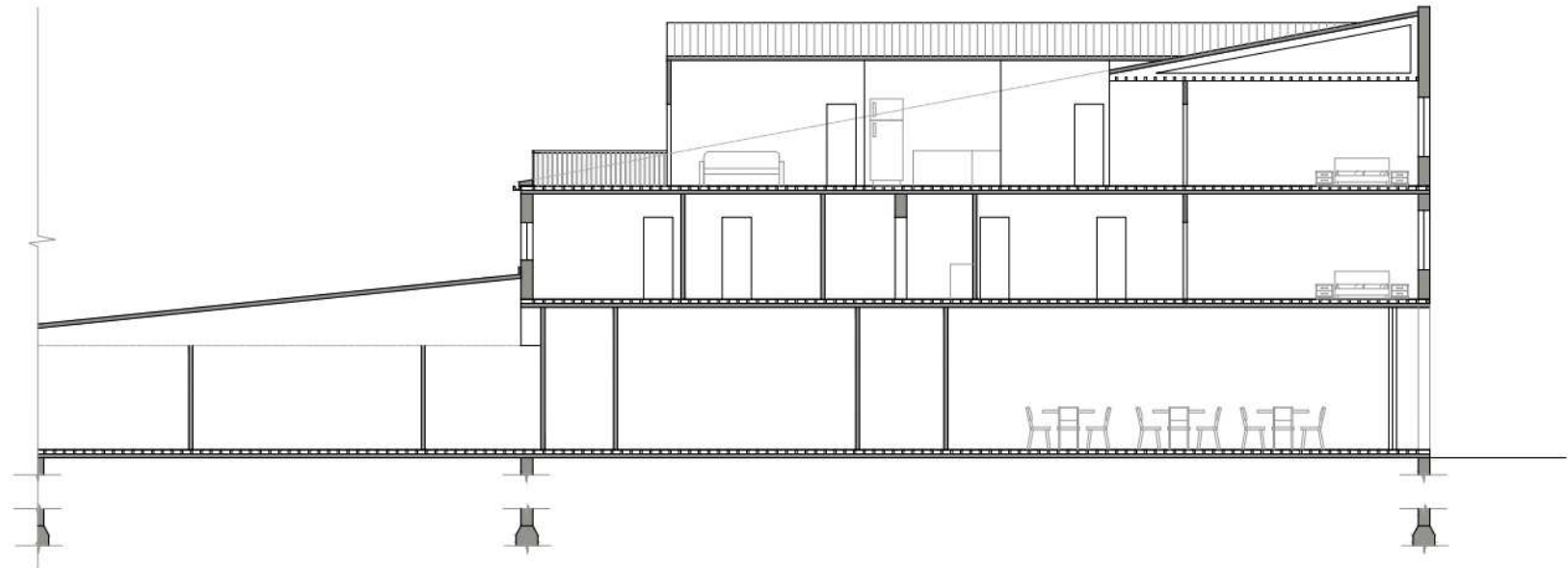
INTERIOR RENOVATIONS, CONT'D:



11 CURRENT CONDITIONS SECTION B-B

0 4' 8' 16'
SCALE: 1/16" = 1'-0"

INTERIOR RENOVATIONS, CONT'D:



12 PROPOSED SECTION B-B

0 4' 8' 16'
SCALE: 1/16" = 1'-0"

Budget:

| 151 S. Main ELIGIBLE IMPROVEMENTS | ESTIMATED COST |
|---|-----------------------|
| Replace storefront windows with a bi-fold window system that opens allowing increased airflow, access to outdoor seating on patio | \$14,000 |
| Install new full lite commercial doors at front entry and entry from rear lot to restaurant | \$10,000 |
| Masonry restoration – remove existing brick veneer, options to install new brick veneer or EIFS | \$65,000 |
| Install new signage and accent lighting | \$4,000 |
| | |
| Replace windows on 2nd & 3rd floor with metal clad wood windows to match existing openings and profile (8 windows) | \$8,000 |
| Renovate & upgrades to Apt 1 on 2nd fl | \$40,000 |
| Renovate & upgrades to Apt 2 on 2nd fl | \$40,000 |
| | |
| Phase 3 - Create new residential unit on 3rd fl | TBD |
| Soft costs (for final architecture, engineering, environmental, permitting) NTE 18% for reimb. | \$17,000 |
| Total Cost Budget | \$198,000 |

NOTE: This preliminary project cost budget is provided for the purpose of this feasibility report, to determine a budget for project planning and funding requests. Further business plan development is recommended along with determinations of the quality level for owner's exterior and interior materials and finishes.

The cost budget is based on experience in similar rehabilitation and renovation projects in various locations in NYS. The current construction climate during the pandemic and funding may impact the budgets.

We highly recommend that the owner pursue historic preservation tax credits. This are credits of 40% of qualified rehabilitation expenses spent in the historic building.

EXISTING CONDITIONS PHOTOS:



Front Façade



Façade, detail of storefront



Rear Elevation

EXISTING CONDITIONS PHOTOS CONT'D:



2nd Floor, Apartment A interior



2nd Floor, Apartment B interior



3rd Floor vacant space



2nd Floor, Apartment A interior



2nd Floor, Apartment B interior



3rd Floor vacant space, detail of stairwell